



## Town of Medley

Office of Capital Projects & Development Services

Date:	<b>April 18, 2015</b>
Subject:	<b>ITB FOR DANNY MEEHAN RECREATIONAL FIELD IMPROVEMENTS PROJECT</b>
Solicitation Number:	<b>ITB 2015-001</b>
OCPDS Number:	<b>PR-1301</b>
Opening Date / Time:	<b>April 22, 2015 at 3:00 PM</b>
ADDENDUM Number:	<b>4</b>

To all interested proposers:

The Town of Medley defines a solicitation “Addendum” as an addition to or amendment of the original terms, conditions, specifications, or instructions of a procurement solicitation (e.g. Invitation for Bids, Request for Proposals or Request for Qualifications), including but not limited to questions and answers, which are considered a material part of the solicitation.

**Please note the following update:**

Addendum 4 does the following:

Incorporates by reference the following emails, RFI responses and revisions to the Bid Plans as noted below;

Document	Date	Type	Description
<b>A4-01(a)</b>	14/04/15	Email	Electrical RFI responses (RFI List 4)
<b>A4-01(b)</b>	14/04/15	Attachment	RFI Response List No. 4
<b>A4-02</b>	14/04/15	Email	Extension of the Bid Submittal Date
<b>A4-03(a)</b>	14/04/15	Email	Waiving permit fees and providing RFI responses
<b>A4-03(b)</b>	14/04/15	Attachment	RFI Response List No. 5
<b>A4-04(a)</b>	14/17/14	Email	Notifying Plan-holders of availability of revised Bid plans to be downloaded from website
<b>A4-04(b)</b>	14/17/14	Web doc.	Revised Bid Plans (download from website)

Except as clarified and amended by this Addendum, the terms, conditions, specifications, and instructions of the Solicitation remain as originally written.



## **Town of Medley**

Office of Capital Projects & Development Services

Thank you,

**Jorge E. Corzo, PE CFM**

Town Engineer / PIO

Town of Medley

Office of Capital Projects and Development Services

7777 NW 72<sup>nd</sup> Avenue, Medley, FL 33166

Phone (305) 887-9541 Ext. 123

[bidinfo@townofmedley.com](mailto:bidinfo@townofmedley.com)

**Jorge E. Corzo PE**

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**From:** Jorge E. Corzo PE  
**Sent:** Monday, April 13, 2015 10:31 AM  
**To:** Ada Almeida (BFM); Andres Solares (Solares Elec.); Arash (Florida Construction & Engineering); Ashley Akerman (Gulf Coast); Brittany Fiorito (bfiorito@isqft.com); Chuck Floyd (ECS); Claudia Castillo (Stonehenge); Dania Guevara (Unitech); David Moran PE (Epic); Elaine Strong (Benson); Emilio Fagundo (ERF); Greg Pappas (Papico); Hilario Gonzalez (HG); Jason Frucht (Musco); Jenny Espinales (GEC); Jeovanni Tarafa (JRT); John Melnicoff (Quality Sports); John Perez-Gurri; Jorge E. Corzo PE; Jorge Rodriguez (Solares); Keila Melo (ABC); Larry Levis, AIA (Atkins); Lina Taboada; Lizmari Valido; Manny Quintana (Stonehenge); Michael Perez-Gurri (N&J); Mike Landis (Swartz Associates); Nerissa Kelly; Olga Quin; Paul A. Simmonds (Atkins); Ricardo Fagundo (ERF); Ricky Sandoval; Shanda Miller (Corworth); Zak Knoepfel (ARC)  
**Subject:** ITB 2015-001 DMRF Improvements / RFI Responses  
**Attachments:** DMRF RFI Responses - 4.pdf

To All Plan-holders and interested parties,

Attached are the electrical comments (in blue) within the word document. Responses are for questions 19 thru 24 and 26.

Thank you,

Jorge E. Corzo, PE CFM  
*Town Engineer - PIO*

**Town of Medley**  
Office of Capital Projects & Development Services  
7777 NW 72 Avenue, Room 219  
Medley, FL 33166  
(305) 887-9541 Ext. 143

April 13, 2015

Attachment **A4-01(b)**

**ITB No. 2015-001 / Medley DMRF Improvements - Danny Meehan Park**

**Bid Questions**

**RFI #1 - N&J Construction**

1. General Conditions, Section VI, Paragraph 4 “Substitutions Or Equal” states: Unless the name is followed by words indicating that no substitutions is permitted, material or equipment of other Suppliers maybe accepted by EOR if sufficient information is submitted by Contractor to allow EOR to determine that the material or equipment proposed is equivalent or equal to that named.” Please provide clarification to the following:
  - Sheet L001 “Material / Furnishing Schedule” specifies the manufacture and model numbers of specific furnishings that are to be incorporated in the project. General Note #17 allows the specified furnishings to be substituted with equal products. In order for the Owner to better evaluate the bids, we are requesting, for bidding purposes only, that the “Equals” for the specified furnishings “NOT” be allowed to substitute during the bid, and that Equal Substitutions are only permitted during construction, after a Notice of Award is issued.  
(what kind of clarification is needed here? This statement was not added by Landscape Architecture, so we aren’t able to clarify.
2. General Conditions, Section VI, Paragraph 7 “Permits” states “Contractor shall obtain and pay for all permits and licenses. Contractor shall pay all government charges and inspections fees as required by the Town of Medley. The Town reserves the right to waive as it deems appropriate all municipal permit and inspection fees related to this contract.” Part 1 – Section 1 - “Instructions to Bidders” – Subsection 18 – Permits, Fees and Notices, states “The Town shall disclose all Town permit fees associated with the Work. The Town will not charge for any building permits required from the Town for the Work. The Successful Bidder shall secure and be responsible for any and all permits and licenses, and pay all permit fees, that may be required for the proper execution and completion for the Work, as may be required from Miami-Dade County, State, and Federal Agencies”. Please clarify the following:
  - Is the Town of Medley going to waive all municipal permits and inspection fees on this project?
  - If the Town of Medley waives all municipal permits on this project, please provide all other permits and inspection fees which will be required that do not fall under

the jurisdiction of the Town of Medley, including but not limited to, Miami-Dade County.

- If the Town of Medley does “not” waive all municipal permit fees, please provide the bidders with the permit drawings Dry-run process number, including the building department fee schedule, in order to be able to estimate the permit cost in the bid.
  - If the Town of Medley does “not” waive all municipal permit fees, please provide the bidders with the list of inspections and their associated fee/s in order to be able to estimate the cost of the inspection fees in the bid.
  - In general, permit and inspection fees (not including re-inspection fees) are difficult to estimate and usually are estimated much higher than the actual cost. For this reason, it is suggested that it would be to the Town’s advantage to provide an “Allowance” for the cost of paying all permits and inspection fees no matter if they are municipal or non-municipal. Please confirm if an Allowance for Permit and Inspection fees will be issued.
3. General Conditions, Section XIII, Paragraph 3 “Tests and Inspections” Sub-Paragraph 3.2 states: “Contractor shall assume full responsibility, pay all costs in connection therewith and furnish CEI the required certificates of inspection, testing or approval of material, equipment or the Work or any part thereof unless otherwise specified herein.” Please clarify the following:
- Sheet C-001, Part 9.0 “Testing and As-Built” Paragraph 91, states” The Contractor shall use a certified construction materials testing laboratory to provide material and density testing in accordance with Florida Department of Transportation Standard Specifications for Road and Bridge Construction.” The drawings do not specify the required number of destiny test required per square foot area or by lineal footage of walkway. In addition, we have not been able to find in the FDOT specification this information. Please provide the following:
    1. The number of required density tests at the soccer field;  
  
***Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas. Testing for the soccer field shall be in accordance with this section except that the frequency may be reduced to one test for every 4,000 sq. ft.***
    2. The number of required density tests per lineal feet beneath paving type “A & B” at concrete walkways;  
  
***Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.***

3. The number of required density tests beneath paving type “C” at basketball court;

***Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.***

4. The number of required density tests beneath paving type “D” at paved parking areas;

***Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.***

5. The number of required density tests at the picnic shelter slab.

***Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.***

4. Part 1, Section 1, Instruction to Bidders, Paragraph 41 “Summary of Documents to be Submitted by Bidders” ” Sub-Paragraph 41.1 states, “The following is a summary of documents, copies of which “may” be included in the Bid Documents, which are to be completed and submitted by Bidders”. Part 1, Paragraph 41, states, “documents to be submitted” while 41.1 states “copies of which may be included”. Part 2, Page 2-6 provides a list of documents required as a condition of this bid. Please clarify the following:
  - Part 2, Page 2-6 lists Attachment 4 “List of Sub-Contractors”, while Sub-Paragraph 41.1 does not list this document. Will a list of Sub-Contractors – Part 2-12 (Not the Major Sub-Contractors Form Part 2-11) be required to be submitted with the bid as a condition of bid responsiveness?
  - Sub-Paragraph 41.1, lists Item B. “Bid Form”, while Part 2, Page 2-6 does not list this document or provides this document. Will the “Bid Form” be required to be submitted with the bid as a condition of bid responsiveness?
  - Sub-Paragraph 41.1, lists Item A. “Bidders acknowledgement”, while Part 2, Page 2-6 lists “Attachment 3: Notice to all Bidders”. Please confirm that both of these documents are one in the same.
  - Sub-Paragraph 41.1, lists Item S., “Certified Resolution or duly executed document evidencing authority to sign on behalf of the Bidder”, while Part 2, Page 2-6 does not list or provides this document. Will this document be required to be submitted with the bid as a condition of bid responsiveness? If yes, please provide document.
  - Sub-Paragraph 41.1, lists Item T. “Public Entity Crime Affidavit”, while Part 2, Page 2-6 does not list this document. Will the “Public Entity Crime Affidavit” be required to be submitted with the bid as a condition of bid responsiveness?

- Part 2, Page 2-6 list Attachment 15 “Construction Engineering and Inspection Service Company Notice” but the document has not been provided, while Sub-Paragraph 41.1 does not list this document. Will the “Construction Engineering and

Inspection Service Notice” be required to be submitted with the bid as a condition of bid responsiveness? If yes, please provide document.

- Please provide clarification of which documents/forms are required to be submitted with the bid in order for the bid submittal to be found responsive to the solicitation.
- Sheet L154 & L155 provide various cross sections. The sections provided indicate paving type “B” bearing directly on compacted subgrade material. The specifications as to the subgrade material are not specified on the drawing or specifications. Please specify the LBR requirements of the subgrade material and its required thickness if any?

*(Refer to Civil dwgs. for pavement construction specifications and written spec. sections 32 11 16, 32 13 13 and 32 25 10, as applicable.*

*Subgrade for paving B and C shall be in accordance with detail 3/C-600 (6” compacted soil 98% maximum density (T-180) AASHTO. Stabilization is not required.*

- Sheet L154 detail #4 “Paving C Detail” indicates paving type “C” being supported on compacted subgrade material. The specifications as to the subgrade material are not specified on the drawing or specifications. Please specify the LBR requirements of the subgrade material and its required thickness, if any?

*(See response to 6. above)*

*Subgrade for paving B and C shall be in accordance with detail 3/C-600 (6” compacted soil 98% maximum density (T-180) AASHTO. Stabilization is not required.*

- Sheet L001 indicates “Paving Type A, B, and C” as fiber mesh reinforced standard concrete. Please provide the required concrete strength (psi) for each paving type.

*(Refer to spec. section 32 13 13)*

- Sheet L153 Section #3 indicates a reinforced concrete base for the Wausau Tile Basketball Standards. The drawings do not provide the structural design for the basketball standards. Please provide all required structural design including the size, thickness, reinforcing and the required concrete (psi) for the basketball standard foundations.

*(Refer to Manufacturer’s Specifications. Contractor responsible for submitting signed and sealed shop drawings for approval from a FL Licensed engineer for structural and foundation requirements)*

- Sheet L001 specifies a manufacture and model number for the batting cage. We have connected the specified manufacturer, “Batting Cages Inc.” and have been informed that

the batting cage framework specified for this cage is not intended for commercial use application, but rather for residential application. Please confirm that the batting cage, as specified, is what is required.

***(Batting cage is replacing existing cage of same quality which is as specified on drawings)***

11. Sheet L152, Elevation #1 “Gate A Detail” indicates a precast cap on top of the two entry columns. The drawings do not indicate the required precast cap material. Please identify the caps material (i.e. concrete, coral, etc.)

***(Cap to be precast concrete as indicated on dwgs. 5/L152. Cap color and finish to match column)***

12. Sheet C-600, “Dumpster Enclosure Detail” indicates a double gate. The drawings do not specify or provide an elevation of this gate. Please provide an elevation indicating if the gate will be chain-link or similar to the gates indicated on Sheet L152.

***Provide gates similar to that shown on sheet L152***

13. Drawings do not specify the concrete strength requirements (psi) at the dumpster enclosure, the entry columns, ornamental fence foundations, portable basketball goal foundations and/or volleyball sleeve foundation. Please provide the concrete strength (psi) requirements for all these items.

***Provide 3000 psi concrete for all of the above***

14. Sheet L101 does not indicate the continuation of paving Type “E” to NW South River Drive and has a note “Paving By Others”. Sheet C-200 does indicate Paving Type “E” continuing to NW South River drive. Please clarify if paving type “E” is to continue as indicated on Sheet C-200.

***(Project limits extend to R.O.W. line. Paving inside R.O.W. is part of a separate project by others)***

***The project limits are clearly denoted on the site plan by the bold dashed line. The limits shown exclude sidewalks, curbs, driveway aprons, pavers that are outside the project limits but are shown on the civil plans to coordinate with the proposed NW South River Drive improvements designed by EAC (see site notes).***

15. Sheet L101 indicates the installation of two park entry signs. Please confirm that each sign will only have the sign message on only one side per sign, and not on both sides of each sign.



*(Confirmed. One-sided sign with message orientation as specified on sheet L101. Sign lighting shall only occur on message side of sign)*

16. Sheet L154 provides the “Entry Sign Details”. Please confirm that the Town of Medley will provide the ‘Town Log Metal Medallion’ for the GC to install.

*(Town of Medley will provide logo file, contractor will be responsible for fabrication and installation method per owner approval)*

17. Sheet L154 provides the “Entry Sign Details”. Please confirm that the material for the sign, cap and metal anchor attachment channels are aluminum.

*(Aluminum material, stainless steel fasteners)*

18. Drawings do not specify if topsoil will be required underneath the “Bahia Turf”. Please clarify is topsoil will be required. If required, please provide the topsoil mix requirements and thickness.

*(Under Section 32 92 23 SODDING Bermuda ‘Celebration’ was removed from the project per owner’s direction. Substitute Argentine Bahia for Bermuda ‘Celebration’ in all cases and specification information remains the same. Refer to 2.2 MANUFACTURED TOP SOIL and 3.1 PREPARATION OF GROUND for mix requirements and thickness)*

19. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.05B states “No claim for extra compensation will be recognized if difficulties are encountered which an examination of site conditions and contract documents prior to executing contract would have revealed.” Please explain why the contractor has the burden of not being able to claim for extra compensation in the event that the design drawings have failed to address existing site conditions.

*Contractor shall perform a mandatory site visit to eliminate any difficulties that may occur between construction documents and site conditions. If contractor does not perform the mandatory site visit and notify Engineer/Architect of any discrepancies prior to bid then the contractor shall waive their claim for extra compensation. (RBJ-SCEI).*

20. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.05V states: “Minimum field supervision shall be as follows: There shall be a journeyman for each 4 workers or portion thereof and a master electrician for each 20 workers, starting at 20 workers”. Please confirm if this requirement will be enforced.

*Yes however it shall be the responsibility of the General Contractor and/or City Inspectors to enforce the requirement. (RBJ-SCEI).*

21. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.09G states, “No substitution will be considered unless written request has been

submitted to the ARCHITECT at least ten (10) days prior to the date for receipt of bids.” Please confirm the following items below:

- That no “electrical “materials or equipment’s” may be substituted unless approved ten days (10) prior to receipt of bids. Please confirm.

*Correct. (RBJ-SCEI).*

- In the event that an electrical substitution is approved, please confirm that the approved electrical substitution will be issued via addendum. Please confirm.

*Correct. If electrical substitution is submitted and approved at least 10 days prior to bid. (RBJ-SCEI).*

- In the event that an approved electrical substitution is issued via addendum, we request that this addendum be issued no later than seven (7) calendar days before the bid due date. Please confirm.

*Correct the intent is to issue an approved electrical substitution as soon as it has been reviewed and approved. Typically, no more than five (5) calendar days before the bid due date. (RBJ-SCEI).*

22. Specification Section 265668 “Exterior Athletic Lighting” Paragraph 4.0D states: “Bidders are required to bid only products that have been approved by this specifications or addendum by the owner or owner’s representative. Bids received that do not utilize an approved system/design, will be rejected”. Please confirm the following below:

- That “Musco”, as of Addendum One (1), is the only currently approved exterior athletic lighting manufacture listed in this specification section and no other manufacture will be accepted for the exterior athletic lighting scope, and that in the event that a bid submitted does not utilize “Musco”, please confirm that the bid will be deemed nonresponsive and rejected.

*“Musco Lighting” is the basis of design. The specifications are written to allow all sports lighting manufacturers the ability to bid provided they follow the plans and specifications very closely. (RBJ-SCEI).*

- If yes to the bullet point above, we request that the Bid Proposal – Bid Table (Part 2-9) – be revised to add a New Item No. (Title Example: “Musco Athletic & Site Lighting”), acknowledging “Musco”. Please confirm.

*No. (RBJ-SCEI).*

23. Sheet E-2, last sentence of Keyed Note #7 states, “Coordinate specific requirements, routing, and termination point with FPL”. A site visit was held at the project site with the local FPL Representatives having jurisdiction over the site location (Danny Meehan Recreational Field) on Thursday, March 19<sup>th</sup>. The FPL Representative informed us that no one has reached out to them informing them of the project. Please contact the FPL representatives below at 305.599.4000

1. Mr. Walter Rumie – FPL Senior CPM
2. Mr. Jose Wong – FPL Technical Associate

*Excellent. FPL was contacted several times during the design process and Mr. Walter Rumie had plans in hand (via e-mail dated 10/14/14 @ 2:01pm). However, typically utility companies do not take action till bid time. Thus the reason it is critical for the contractor to coordinate with utility company prior to bid. (RBJ-SCEI).*

24. With respect to Keyed Note #6 on Sheet E-2, and Key Note #2 (Pad Mounted Utility Transformer) on Sheet E-3 (Refer to Single Line Diagram), a pad mounted utility transformer is not allowed on-site by FPL Regulations because the site has existing FPL transmission lines running above. The FPL Representatives provided the following alternative:

- There is an existing concrete electrical pole at the N.W. Corner of the property located in the grassy public right-a-way off N.W. South River Drive, adjacent to the existing parking lot (Refer to photo attached). The most economical suggestion made by the FPL representative in providing power to the site is for FPL to install a new three phase mounted transformer on the existing concrete pole. FPL would then provide a service pole adjacent to the basketball court. The service pole would be fed overhead from the existing concrete pole with the new three phase transformer. FPL would then provide the service drop from the new service pole to a hand hole at the base of the service pole.
- The fee for FPL to perform the work of installing the three phase transformer, the service pole, the overhead feed including the service drop to the hand hole at the base of the pole must first be engineered by FPL. In order for FPL to

engineer this work and provide the fee in performing this work, it must first be provided all required information by the project design engineer. Please clarify the following:

1. Please confirm if this fee is to be included in the bid proposal. If yes, please provide and confirm the fee amount. If the fee cannot be provided, please provide a “fee” allowance to be included in the bid.

*We will confirm with the City on how to proceed. (RBJ-SCEI).*

2. Please confirm the precise location of the FPL point of service. This location is necessary to be able to determine the length of the required electrical service run. If this information is not available, we suggest a distance allowance be stipulated.

*We will coordinate with FPL again and issue an addendum. However, the contractor must coordinate the exact termination points with FPL prior to bid. (RBJ-SCEI).*

- With respect to Sheets E-1, E-2, and E-3 (Panel SH, and Panel SL), the FPL Representatives had the following additional points to be confirmed:

- Confirm size of can [Example: K-7 (Bolt-in Meter)];

*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

- Confirm amps required;

*Shown on plans. Refer to sheet E-300. Panel Schedules. (RBJ-SCEI).*

- Confirm cable size;

*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

- Confirm size of conductors.

*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

We suggest the project design engineer contact FPL in order to have all FPL electrical requirements satisfied.

- With respect to any/all clarification provided by FPL, and confirmed with FPL, we request that the electrical drawings (Sheets E-1, E-2, and E-3) be revised accordingly, and be issued via addendum for bidding/pricing purposes.

*Agreed. We will coordinate again with FPL and provide an addendum. In order to not delay bids during the coordination of the addendum contractor is advised to contact FPL to verify all utility requirements. (RBJ-SCEI).*

## **RFI #2 - N&J Construction**

25. Sheet C-100 "Existing Conditions & Demo Plan" does not indicate on the drawing the extent of what is to be demolished. Demolition Note # 1 is general in nature and does not address other site improvements which exist within the project site. Please clarify the following:

- There are two (2) wood poles on the east side of the property with four (4) mounted lights each including the back guying of the wood poles to vertical steel pipes. Please clarify if these poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- There are two (2) wood poles on the west side of the property with four (4) mounted lights each including the back guying of the wood poles to vertical steel pipes. Please clarify if these poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- There is one (1) wood pole on the west side of the property with no mounted lights. Please clarify if these poles are to be removed/demolished.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed/demolished.*

- There are two (2) wood service poles with electrical outlets at the base of each pole within the project site being fed underground. Please clarify if these poles are to be removed/demolished, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are two (2) wood service poles with electrical outlets located at the base of each pole within the project site being fed underground. Please clarify if these poles are to be removed/demolished, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are three (3) service outlets on the east side of the property adjacent to the exiting entry to the park being fed underground. Please clarify if these outlets are to be removed/demolished, if the underground conduit feeding outlets are to be

abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are more light poles in the existing basketball court than what Sheet C-100 indicates. Please confirm that all light poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- Please clarify if the existing bleachers are to be removed/demolished or salvaged and returned to the owner.  
*Removed and demolished/salvaged or returned as required by owner.*
- Please clarify if the existing aluminum bench inside the basketball court is to be removed/demolished or salvaged and returned to the owner.  
*Removed and demolished/salvaged or returned as required by owner.*
- Please clarify if the existing bike rack at the existing basketball court is to be removed/demolished or salvaged and returned to the owner.  
*Removed and demolished/salvaged or returned as required by owner.*
- Please clarify if the electrical disconnects and water line (H.B) enclosed within a four foot chain-link fence enclosure on the northeast of the existing basketball court to be removed/demolished, if the underground conduit and water line are to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out and the water line capped.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing electrical disconnects shall be removed and demolished. The existing water line service shall be removed back to the water main tap and capped at the service tap in accordance with MDWASD and City of Medley utility standard specifications and details and as directed by the city or utility inspector.*

26. The electrical drawings call for Quazite pull boxes with traffic covers, however, Quazite does not offer traffic covers. Please clarify whether Quazite pull boxes can be installed with regular covers or a pull box should be installed with traffic cover. Please see attached from Quazite.

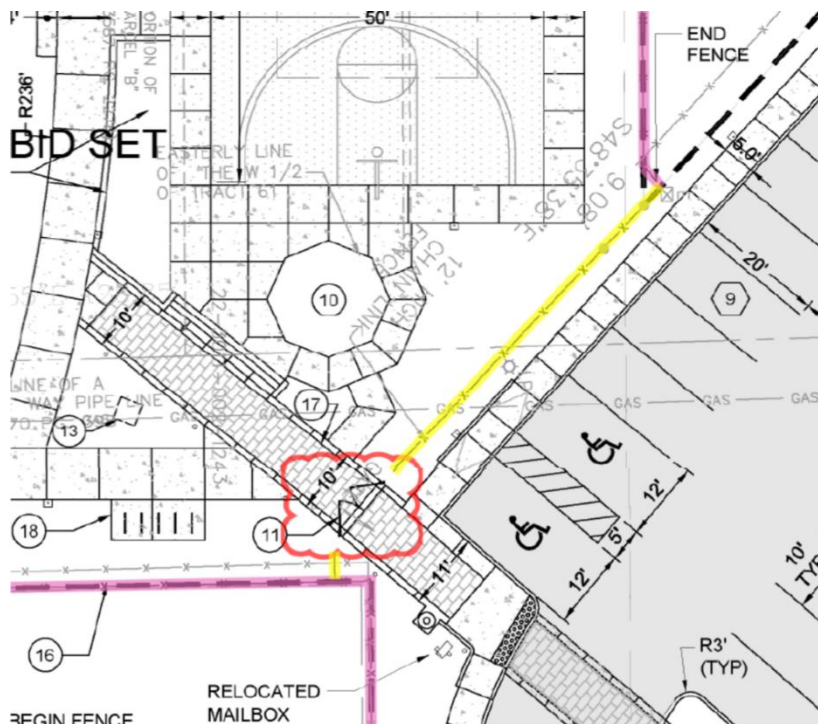


Refer to attached web link indicating specified handhole with traffic rated cover. (RBJ-SCEI).

<http://www.hubbellpowersystems.com/resources/drawings/enclosures/quazite/pdf/QZ1-20.pdf>

## **StoneHenge Construction**

27. Regarding Page C-200, please confirm if the area highlighted in yellow in the attached pdf (on either side of the main entrance denoted as item #11) is to have Ameristar fencing? There is an existing chain link fence there now.



***Fence highlighted in yellow shall be proposed fencing as specified, re: 1/L001***

28. Please confirm the dollar allowance to be included in the bid for permit costs
29. The plan specifies a 2" irrigation well. There is also a Hoover pump station with a 7 1/2 horsepower pump station. Please confirm that a 2" well will be sufficient. We believe a 3" well must be installed in order to avoid cavitation of the 2" well.

***The well size be increased to 3". The pump is designed to operate at a peak of 50 GPM which would necessitate the larger well.***

## Advanced Recreational Concepts

30. I wasn't able to locate the specs, scope or details for the following items:

- Playground Equipment?  
*Playground equipment is existing, therefore not included in this scope.*
- Playground Safety Surfacing?  
*Playground surfacing is existing, therefore not included in this scope.*
- Walking / Exercise Path?  
*Majority of walking path is Pavement Type B. Refer to sheet L101 for locations, limits and Detail 1/L001 for paving specification.*
- Outdoor Fitness Equipment?
- 1. Number of Stations?  
*There are three (3) Fitness Stations labeled A, B and C on sheet L101.*
  2. Type of Equipment?  
*Fitness Stations are specified on Detail 1/L001.*
  3. Surfacing of pad around the stations?  
*All Fitness Stations are on Pavement Type B.*

31. Who are the Plan Holders for this project? (We would be a sub on this project and would like to know who's interested in being the Prime GC.)

## GEC Associates

32. Sheet C-100 stats to Remove Existing Inlet and Exfiltration Trench Pipe, plans do not show any Exfiltration Trench Pipe. Please Clarify quantity of exfiltration trench pipe to be removed.

*The existing length is unknown.*

33. Please clarify pipe material for the "PVC" drainage pipe shown on sheet C-300.

*PVC SDR-35 per note 5.4 /C-001.*

34. Please clarify the sidewalks, curbs, pavers, connections, etc. located outside the project limit by the new park entrance is not in the scope of work.

*The project limits are clearly denoted on the site plan by the bold dashed line. The limits shown exclude sidewalks, curbs, driveway aprons, pavers that are outside the project limits but are shown on the civil plans to coordinate with the proposed NW South River Drive improvements designed by EAC (see site notes). Water service utility work shown on C-400 is included in the scope of work.*



35. Plans show soccer field to receive Bahia Grass, Specifications state soccer field to receive Celebration Bermuda Grass. Please clarify.

*Bahia grass as shown on the plans and in the plant schedule is correct. Client directed change.*

## Burke Construction Group Inc

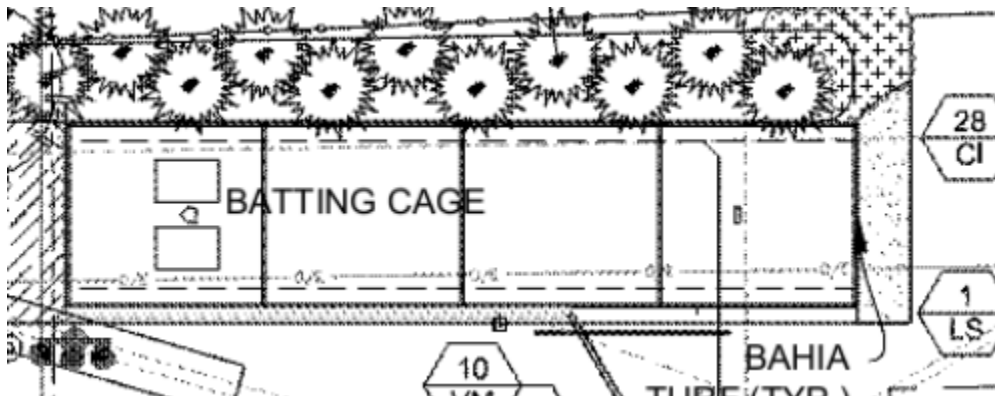
36. Plans keep on referring to Architectural Drawings, however there are none. Please advise.

2. SEE ARCHITECTURAL SITE PLAN FOR FIELD / COURT DIMENSIONS, LAYOUT, BRICK PAVER DETAILS, AND DETAILS.

*Figure 1 - C-200*

*Please refer to Landscape Architectural drawings L series.*

37. The existing playground that is to have recycled matting requires a 4" concrete base underneath the matting. Plans do not indicate any base. Is the base and the matting existing?
38. The plans do not indicate the type of floor for the batting cage. Will the batting cage floor be sod, asphalt or concrete? Please advise.



*Figure 2- L201*

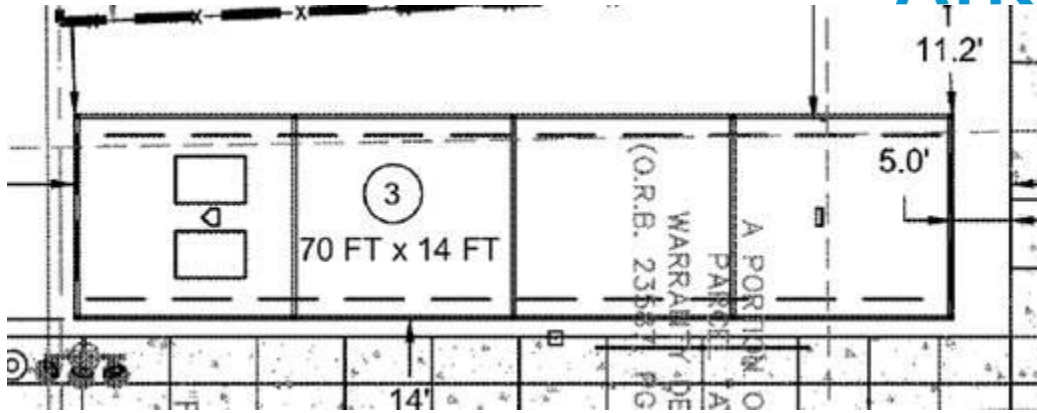


Figure 3 - C-200

39. L101 indicate that the soccer goal are NIC. Please verify if this true.
40. Detail 1/L151 makes a reference to a potential location for sculpture/donor recognition (TBD). Will a footing be required?

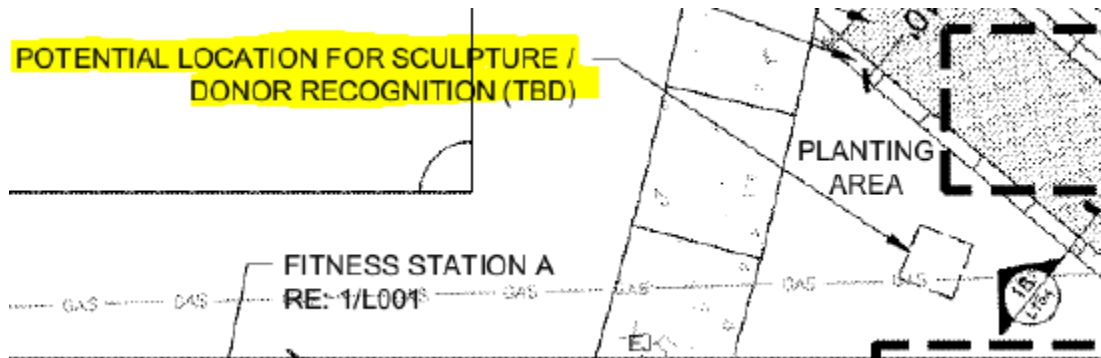
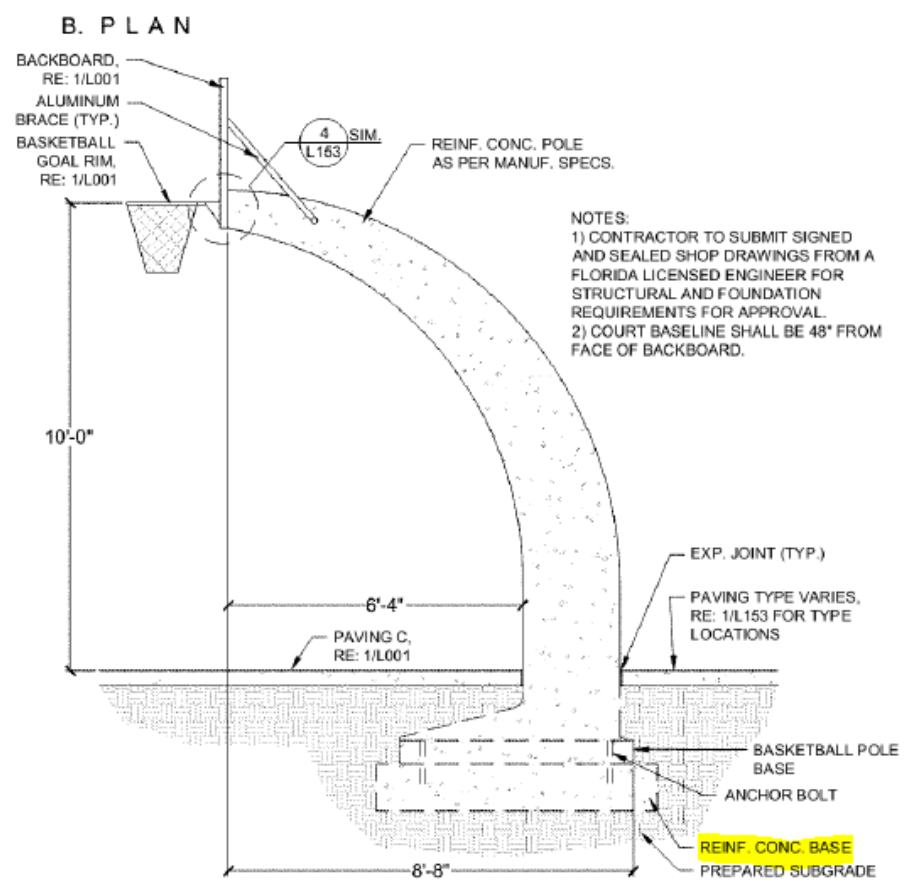
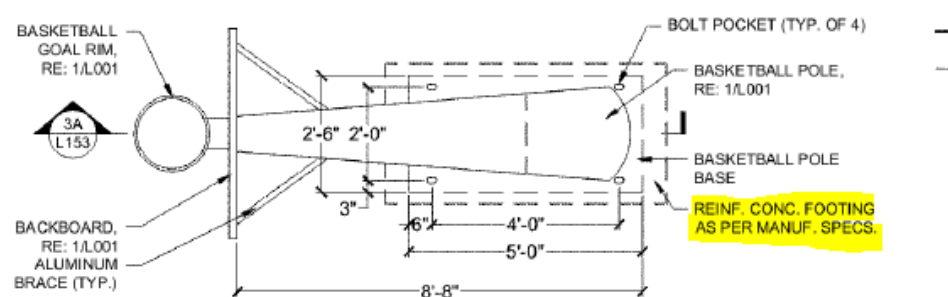


Figure 4 - Detail 1/L151

41. Detail 3/L153 references the pre-cast reinforced concrete pole for the Basketball courts, however it does not indicate any footings required for this pole (LXWXDepth). Please advise if we are to engineer taking into consideration hurricane forces, etc.



*Figure 5 - Detail 3/L153*

**From:** Jorge E. Corzo PE  
**Sent:** Tuesday, April 14, 2015 10:24 AM  
**To:** Ada Almeida (BFM); Andres Solares (Solares Elec.); Arash (Florida Construction & Engineering); Ashley Akerman (Gulf Coast); Brittany Fiorito (bfiorito@isqft.com); Chuck Floyd (ECS); Claudia Castillo (Stonehenge); Dania Guevara (Unitech); David Moran PE (Epic); Elaine Strong (Benson); Emilio Fagundo (ERF); Greg Pappas (Papico); Hilario Gonzalez (HG); Jason Frucht (Musco); Jenny Espinales (GEC); Jeovanni Tarafa (JRT); John Melnicoff (Quality Sports); John Perez-Gurri; Jorge E. Corzo PE; Jorge Rodriguez (Solares); Keila Melo (ABC); Larry Levis, AIA (Atkins); Lina Taboada; Lizmari Valido; Manny Quintana (Stonehenge); Michael Perez-Gurri (N&J); Mike Landis (Swartz Associates); Nerissa Kelly; Olga Quin; Paul A. Simmonds (Atkins); Ricardo Fagundo (ERF); Ricky Sandoval; Shanda Miller (Corworth); Zak Knoepfel (ARC)  
**Cc:** Bidinfo  
**Subject:** ITB 2015-001 DMRF Improvements / New Submittal Date of April 22, 2015

To all plan-holders and other interested parties,

Please be informed that the Town of Medley will be issuing Addendum 4 extending the Bid Submittal date to **April 22, 2015 at 3:00 PM** and the deadline for submitting RFI's (via [bidinfo@townofmedley.com](mailto:bidinfo@townofmedley.com) only) to the end of the day on Sunday, April 19.

Thanks,

**Jorge E. Corzo, PE CFM**

*Town Engineer- PIO*

**Town of Medley**

Office of Capital Projects & Development Services

7777 NW 72 Avenue, Room 219

Medley, FL 33166

Office (305) 887-9541 Ext. 143

Mobile (305) 934-6986

**Jorge E. Corzo PE**

**From:** Jorge E. Corzo PE  
**Sent:** Tuesday, April 14, 2015 3:42 PM  
**To:** Jorge E. Corzo PE; Ada Almeida (BFM); Andres Solares (Solares Elec.); Arash (Florida Construction & Engineering); Ashley Akerman (Gulf Coast); Brittany Fiorito (bfiorito@isqft.com); Chuck Floyd (ECS); Claudia Castillo (Stonehenge); Dania Guevara (Unitech); David Moran PE (Epic); Elaine Strong (Benson); Emilio Fagundo (ERF); Greg Pappas (Papico); Hilario Gonzalez (HG); Jason Frucht (Musco); Jenny Espinales (GEC); Jeovanni Tarafa (JRT); John Melnicoff (Quality Sports); John Perez-Gurri; Jorge E. Corzo PE; Jorge Rodriguez (Solares); Keila Melo (ABC); Larry Levis, AIA (Atkins); Lina Taboada; Lizmari Valido; Manny Quintana (Stonehenge); Michael Perez-Gurri (N&J); Mike Landis (Swartz Associates); Nerissa Kelly; Olga Quin; Paul A. Simmonds (Atkins); Ricardo Fagundo (ERF); Ricky Sandoval; Shanda Miller (Corworth); Zak Knoepfel (ARC)  
**Cc:** Bidinfo  
**Subject:** RE: ITB 2015-001 DMRF Improvements / RFI Response List No. 5  
**Attachments:** DMRF RFI Responses - 5.pdf

To all plan-holders and other interested parties,

Attached is the latest version of the RFI Response Master List (#5) which includes a clarification on the documents and forms to be submitted with the Bid as confirming that the Town is waiving all construction permits and inspection fees and paying for other applicable regulatory permits out of the contingency line item.

We have been informed by the AOR that they will be providing revised plans by the end of the day tomorrow incorporating selected changes as noted in the RFI Response List...

Thanks you,

**Jorge E. Corzo, PE CFM**

*Town Engineer - PIO*

(305) 887-9541 Ext. 143

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**From:** Jorge E. Corzo PE  
**Sent:** Tuesday, April 14, 2015 10:24 AM  
**To:** Ada Almeida (BFM); Andres Solares (Solares Elec.); Arash (Florida Construction & Engineering); Ashley Akerman (Gulf Coast); Brittany Fiorito ([bfiorito@isqft.com](mailto:bfiorito@isqft.com)); Chuck Floyd (ECS); Claudia Castillo (Stonehenge); Dania Guevara (Unitech); David Moran PE (Epic); Elaine Strong (Benson); Emilio Fagundo (ERF); Greg Pappas (Papico); Hilario Gonzalez (HG); 'Jason Frucht (Musco)'; Jenny Espinales (GEC); Jeovanni Tarafa (JRT); John Melnicoff (Quality Sports); John Perez-Gurri; Jorge E. Corzo PE (Medley); Jorge Rodriguez (Solares); Keila Melo (ABC); Larry Levis, AIA (Atkins); Lina Taboada (Medley); Lizmari Valido (Medley); Manny Quintana (Stonehenge); Michael Perez-Gurri (N&J); Mike Landis (Swartz Associates); Nerissa Kelly; Olga G. Quin (Medley); Paul A. Simmonds (Atkins); Ricardo Fagundo (ERF); Ricky Sandoval; Shanda Miller (Corworth); Zak Knoepfel (ARC)  
**Cc:** Bidinfo  
**Subject:** ITB 2015-001 DMRF Improvements / New Submittal Date of April 22, 2015

To all plan-holders and other interested parties,

Please be informed that the Town of Medley will be issuing Addendum 4 extending the Bid Submittal date to **April 22, 2015 at 3:00 PM** and the deadline for submitting RFI's (via [bidinfo@tonwofmedley.com](mailto:bidinfo@tonwofmedley.com) only) to the end of the day on Sunday, April 19.

Thanks,

**Jorge E. Corzo, PE CFM**

*Town Engineer- PIO*

**Town of Medley**

Office of Capital Projects & Development Services

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Attachment A4-03(b)

**ITB No. 2015-001 / Medley DMRF Improvements - Danny Meehan Park**

**Bid Questions and Responses (by contractors)**

**RFI #1 - N&J CONSTRUCTION**

1. General Conditions, Section VI, Paragraph 4 “Substitutions Or Equal” states: Unless the name is followed by words indicating that no substitutions is permitted, material or equipment of other Suppliers may be accepted by EOR if sufficient information is submitted by Contractor to allow EOR to determine that the material or equipment proposed is equivalent or equal to that named.” Please provide clarification to the following:

- Sheet L001 “Material / Furnishing Schedule” specifies the manufacture and model numbers of specific furnishings that are to be incorporated in the project. General Note #17 allows the specified furnishings to be substituted with equal products. In order for the Owner to better evaluate the bids, we are requesting, for bidding purposes only, that the “Equals” for the specified furnishings “NOT” be allowed to substitute during the bid, and that Equal Substitutions are only permitted during construction, after a Notice of Award is issued.

***Bid should be based on the specified materials as stated on the drawings. Any proven substitution will be considered after the winning bid/contractor is awarded the contract.***

2. General Conditions, Section VI, Paragraph 7 “Permits” states “Contractor shall obtain and pay for all permits and licenses. Contractor shall pay all government charges and inspections fees as required by the Town of Medley. The Town reserves the right to waive as it deems appropriate all municipal permit and inspection fees related to this contract.” Part 1 – Section 1 - “Instructions to Bidders” – Subsection 18 – Permits, Fees and Notices, states “The Town shall disclose all Town permit fees associated with the Work. The Town will not charge for any building permits required from the Town for the Work. The Successful Bidder shall secure and be responsible for any and all permits and licenses, and pay all permit fees, that may be required for the proper execution and completion for the Work, as may be required from Miami-Dade County, State, and Federal Agencies”. Please clarify the following:
  - Is the Town of Medley going to waive all municipal permits and inspection fees on this project? ***Yes, the Town will waive all permits and inspection fees in connection with this project.***



- If the Town of Medley waives all municipal permits on this project, please provide all other permits and inspection fees which will be required that do not fall under the jurisdiction of the Town of Medley, including but not limited to, Miami-Dade County. **The Town will reimburse the Contractor for all applicable permit fees paid to regulatory agencies on an actual cost basis upon submittal of proof of payment as part of the monthly progress payment requests.**
  - If the Town of Medley does “not” waive all municipal permit fees, please provide the bidders with the permit drawings Dry-run process number, including the building department fee schedule, in order to be able to estimate the permit cost in the bid. **Not applicable.**
  - If the Town of Medley does “not” waive all municipal permit fees, please provide the bidders with the list of inspections and their associated fee/s in order to be able to estimate the cost of the inspection fees in the bid. **Not applicable.**
  - In general, permit and inspection fees (not including re-inspection fees) are difficult to estimate and usually are estimated much higher than the actual cost. For this reason, it is suggested that it would be to the Town’s advantage to provide an “Allowance” for the cost of paying all permits and inspection fees no matter if they are municipal or non-municipal. Please confirm if an Allowance for Permit and Inspection fees will be issued. **An allowance will be issued by the Town under the line item for Project Contingencies.**
3. General Conditions, Section XIII, Paragraph 3 “Tests and Inspections” Sub-Paragraph 3.2 states: “Contractor shall assume full responsibility, pay all costs in connection therewith and furnish CEI the required certificates of inspection, testing or approval of material, equipment or the Work or any part thereof unless otherwise specified herein.” Please clarify the following:
- Sheet C-001, Part 9.0 “Testing and As-Built” Paragraph 91, states” The Contractor shall use a certified construction materials testing laboratory to provide material and density testing in accordance with Florida Department of Transportation Standard Specifications for Road and Bridge Construction.” The drawings do not specify the required number of destiny test required per square foot area or by lineal footage of walkway. In addition, we have not been able to find in the FDOT specification this information. Please provide the following:
    1. The number of required density tests at the soccer field;

**Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas. Testing for the soccer field shall be in accordance**

*with this section except that the frequency may be reduced to one test for every 4,000 sq. ft.*

2. The number of required density tests per lineal feet beneath paving type “A & B” at concrete walkways;

*Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.*

3. The number of required density tests beneath paving type “C” at basketball court;

*Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.*

4. The number of required density tests beneath paving type “D” at paved parking areas;

*Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.*

5. The number of required density tests at the picnic shelter slab.

*Please refer to specification 31 20 00 Section 3.19 E.1. for Paving and Building Slab Areas.*

4. Part 1, Section 1, Instruction to Bidders, Paragraph 41 “Summary of Documents to be Submitted by Bidders” ” Sub-Paragraph 41.1 states, “The following is a summary of documents, copies of which “may” be included in the Bid Documents, which are to be completed and submitted by Bidders”. Part 1, Paragraph 41, states, “documents to be submitted” while 41.1 states “copies of which may be included”. Part 2, Page 2-6 provides a list of documents required as a condition of this bid. Please clarify the following:

- Part 2, Page 2-6 lists Attachment 4 “List of Sub-Contractors”, while Sub-Paragraph 41.1 does not list this document. Will a list of Sub-Contractors – Part 2-12 (Not the Major Sub-Contractors Form Part 2-11) be required to be submitted with the bid as a condition of bid responsiveness? See Table below...
- Sub-Paragraph 41.1, lists Item B. “Bid Form”, while Part 2, Page 2-6 does not list this document or provides this document. Will the “Bid Form” be required to be submitted with the bid as a condition of bid responsiveness? See Table below...
- Sub-Paragraph 41.1, lists Item A. “Bidders acknowledgement”, while Part 2, Page 2-6 lists “Attachment 3: Notice to all Bidders”. Please confirm that both of these documents are one in the same. See Table below...

- Sub-Paragraph 41.1, lists Item S., “Certified Resolution or duly executed document evidencing authority to sign on behalf of the Bidder”, while Part 2, Page 2-6 does not list or provides this document. Will this document be required to be submitted with the bid as a condition of bid responsiveness? If yes, please provide document. **See Table below...**
  - Sub-Paragraph 41.1, lists Item T. “Public Entity Crime Affidavit”, while Part 2, Page 2-6 does not list this document. Will the “Public Entity Crime Affidavit” be required to be submitted with the bid as a condition of bid responsiveness? **See Table below...**
  - Part 2, Page 2-6 list Attachment 15 “Construction Engineering and Inspection Service Company Notice” but the document has not been provided, while Sub-Paragraph 41.1 does not list this document. Will the “Construction Engineering and Inspection Service Notice” be required to be submitted with the bid as a condition of bid responsiveness? If yes, please provide document. **Not required... See Table below...**
5. Please provide clarification of which documents/forms are required to be submitted with the bid in order for the bid submittal to be found responsive to the solicitation.

**The following documents which are included in the Bid Documents, are to be completed and submitted by the Bidders:**

Attachment	Form Name / Description	Remarks
1	Bid Form	Page (Part) 2-3
2	Bid Proposal	Page 2-8
3	Not used	
4	List of <u>Major</u> Subcontractors	Provide detail information as listed in Pages 2-11 and 2-12
5	General Information Required of Bidder	Page 2-13
6	Solicitation, Giving, and Acceptance of Gift Policy	Page 2-14
7	Drug Free Workplace	Page 2-15
8	Bidder’s Certification	Page 2-16
9	Certified Resolution	Page 2-19
10	Certificate(s) of Insurance	Page 2-20
11	Non-Collusive Affidavit	Page 2-23
12	Bidder’s Foreign (Non-Florida) corporate statement References	Page 2-25
13	Bidder’s Qualification Statement	Page 2-27
14	Conformance with OSHA Standards	Page 2-30

15	Trench Safety Act Compliance	Page 2-31
16	References	Page 2-32
17	Bid Bond	Page 2-33
18	Public Entity Crime Affidavit	Page 2-43

6. Sheet L154 & L155 provide various cross sections. The sections provided indicate paving type “B” bearing directly on compacted subgrade material. The specifications as to the subgrade material are not specified on the drawing or specifications. Please specify the LBR requirements of the subgrade material and its required thickness if any?

*(Refer to Civil dwgs. for pavement construction specifications and written spec. sections 32 11 16, 32 13 13 and 32 25 10, as applicable.*

*Subgrade for paving B and C shall be in accordance with detail 3/C-600 (6” compacted soil 98% maximum density (T-180) AASHTO. Stabilization is not required.*

7. Sheet L154 detail #4 “Paving C Detail” indicates paving type “C” being supported on compacted subgrade material. The specifications as to the subgrade material are not specified on the drawing or specifications. Please specify the LBR requirements of the subgrade material and its required thickness, if any?

*(See response to 6. above)*

*Subgrade for paving B and C shall be in accordance with detail 3/C-600 (6” compacted soil 98% maximum density (T-180) AASHTO. Stabilization is not required.*

8. Sheet L001 indicates “Paving Type A, B, and C” as fibermesh reinforced standard concrete. Please provide the required concrete strength (psi) for each paving type.

*(Refer to spec. section 32 13 13)*

9. Sheet L153 Section #3 indicates a reinforced concrete base for the Wausau Tile Basketball Standards. The drawings do not provide the structural design for the basketball standards. Please provide all required structural design including the size, thickness, reinforcing and the required concrete (psi) for the basketball standard foundations.

*(Refer to Manufacturer’s Specifications. Contractor responsible for submitting signed and sealed shop drawings for approval from a FL Licensed engineer for structural and foundation requirements)*

10. Sheet L001 specifies a manufacture and model number for the batting cage. We have connected the specified manufacturer, “Batting Cages Inc.” and have been informed that the batting cage framework specified for this cage is not intended for commercial use application, but rather for residential application. Please confirm that the batting cage, as specified, is what is required.

*(Batting cage is replacing existing cage of same quality which is as specified on drawings)*

11. Sheet L152, Elevation #1 “Gate A Detail” indicates a precast cap on top of the two entry columns. The drawings do not indicate the required precast cap material. Please identify the caps material (i.e. concrete, coral, etc.)

*(Cap to be precast concrete as indicated on dwgs. 5/L152. Cap color and finish to match column)*

12. Sheet C-600, “Dumpster Enclosure Detail” indicates a double gate. The drawings do not specify or provide an elevation of this gate. Please provide an elevation indicating if the gate will be chain-link or similar to the gates indicated on Sheet L152.

*Provide gates similar to that shown on sheet L152. Fence material to be aluminum.*

13. Drawings do not specify the concrete strength requirements (psi) at the dumpster enclosure, the entry columns, ornamental fence foundations, portable basketball goal foundations and/or volleyball sleeve foundation. Please provide the concrete strength (psi) requirements for all these items.

*Provide 3000 psi concrete for all of the above*

14. Sheet L101 does not indicate the continuation of paving Type “E” to NW South River Drive and has a note “Paving By Others”. Sheet C-200 does indicate Paving Type “E” continuing to NW South River drive. Please clarify if paving type “E” is to continue as indicated on Sheet C-200.

*(Project limits extend to R.O.W. line. Paving inside R.O.W. is part of a separate project by others)*

*The project limits are clearly denoted on the site plan by the bold dashed line. The limits shown exclude sidewalks, curbs, driveway aprons, pavers that are outside the project limits but are shown on the civil plans to coordinate with the proposed NW South River Drive improvements designed by EAC (see site notes).*

15. Sheet L101 indicates the installation of two park entry signs. Please confirm that each sign will only have the sign message on only one side per sign, and not on both sides of each sign.

*(Confirmed. One-sided sign with message orientation as specified on sheet L101. Sign lighting shall only occur on message side of sign)*

16. Sheet L154 provides the “Entry Sign Details”. Please confirm that the Town of Medley will provide the “Town Log Metal Medallion” for the GC to install.

*(Town of Medley will provide logo file, contractor will be responsible for fabrication and installation method per owner approval)*

17. Sheet L154 provides the “Entry Sign Details”. Please confirm that the material for the sign, cap and metal anchor attachment channels are aluminum.

*(Aluminum material, stainless steel fasteners)*

18. Drawings do not specify if topsoil will be required underneath the “Bahia Turf”. Please clarify if topsoil will be required. If required, please provide the topsoil mix requirements and thickness.

*(Under Section 32 92 23 SODDING Bermuda ‘Celebration’ was removed from the project per owner’s direction. Substitute Argentine Bahia for Bermuda ‘Celebration’ in all cases and specification information remains the same. Refer to 2.2 MANUFACTURED TOP SOIL and 3.1 PREPARATION OF GROUND for mix requirements and thickness)*

19. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.05B states “No claim for extra compensation will be recognized if difficulties are encountered which an examination of site conditions and contract documents prior to executing contract would have revealed.” Please explain why the contractor has the burden of not being able to claim for extra compensation in the event that the design drawings have failed to address existing site conditions.

*Contractor shall perform a mandatory site visit to eliminate any difficulties that may occur between construction documents and site conditions. If contractor does not perform the mandatory site visit and notify Engineer/Architect of any discrepancies prior to bid then the contractor shall waive their claim for extra compensation. (RBJ-SCEI).*

20. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.05V states: “Minimum field supervision shall be as follows: There shall be a journeyman for each 4 workers or portion thereof and a master electrician for each 20 workers, starting at 20 workers”. Please confirm if this requirement will be enforced.

*Yes however it shall be the responsibility of the General Contractor and/or City Inspectors to enforce the requirement. (RBJ-SCEI).*

21. Specification Section 260005 “Electrical Requirements, General” Paragraph 1.09G states, “No substitution will be considered unless written request has been submitted to the ARCHITECT at least ten (10) days prior to the date for receipt of bids.” Please confirm the following items below:

- That no “electrical “materials or equipment’s” may be substituted unless approved ten days (10) prior to receipt of bids. Please confirm.



**Correct. (RBJ-SCEI).**

- In the event that an electrical substitution is approved, please confirm that the approved electrical substitution will be issued via addendum. Please confirm.

**Correct. If electrical substitution is submitted and approved at least 10 days prior to bid. (RBJ-SCEI).**

- In the event that an approved electrical substitution is issued via addendum, we request that this addendum be issued no later than seven (7) calendar days before the bid due date. Please confirm.

**Correct the intent is to issue an approved electrical substitution as soon as it has been reviewed and approved. Typically, no more than five (5) calendar days before the bid due date. (RBJ-SCEI).**

22. Specification Section 265668 “Exterior Athletic Lighting” Paragraph 4.0D states: “Bidders are required to bid only products that have been approved by this specifications or addendum by the owner or owner’s representative. Bids received that do not utilize an approved system/design, will be rejected”. Please confirm the following below:

- That “Musco”, as of Addendum One (1), is the only currently approved exterior athletic lighting manufacture listed in this specification section and no other manufacture will be accepted for the exterior athletic lighting scope, and that in the event that a bid submitted does not utilize “Musco”, please confirm that the bid will be deemed nonresponsive and rejected.

**“Musco Lighting” is the basis of design. The specifications are written to allow all sports lighting manufacturers the ability to bid provided they follow the plans and specifications very closely. (RBJ-SCEI).**

- If yes to the bullet point above, we request that the Bid Proposal – Bid Table (Part 2-9) – be revised to add a New Item No. (Title Example: “Musco Athletic & Site Lighting”), acknowledging “Musco”. Please confirm.

**No. (RBJ-SCEI).**

23. Sheet E-2, last sentence of Keyed Note #7 states, “Coordinate specific requirements, routing, and termination point with FPL”. A site visit was held at the project site with the local FPL Representatives having jurisdiction over the site location (Danny Meehan Recreational Field) on Thursday, March 19<sup>th</sup>. The FPL Representative informed us that no one has reached out to them informing them of the project. Please contact the FPL representatives below at 305.599.4000

1. Mr. Walter Rumie – FPL Senior CPM
2. Mr. Jose Wong – FPL Technical Associate

*Excellent. FPL was contacted several times during the design process and Mr. Walter Rumie had plans in hand (via e-mail dated 10/14/14 @ 2:01pm). However, typically utility companies do not take action till bid time. Thus the reason it is critical for the contractor to coordinate with utility company prior to bid. (RBJ-SCEI).*

24. With respect to Keyed Note #6 on Sheet E-2, and Key Note #2 (Pad Mounted Utility Transformer) on Sheet E-3 (Refer to Single Line Diagram), a pad mounted utility transformer is not allowed on-site by FPL Regulations because the site has existing FPL transmission lines running above. The FPL Representatives provided the following alternative:

- There is an existing concrete electrical pole at the N.W. Corner of the property located in the grassy public right-a-way off N.W. South River Drive, adjacent to the existing parking lot (Refer to photo attached). The most economical suggestion made by the FPL representative in providing power to the site is for FPL to install a new three phase mounted transformer on the existing concrete pole. FPL would then provide a service pole adjacent to the basketball court. The service pole would be fed overhead from the existing concrete pole with the new three phase transformer. FPL would then provide the service drop from the new service pole to a hand hole at the base of the service pole.
- The fee for FPL to perform the work of installing the three phase transformer, the service pole, the overhead feed including the service drop to the hand hole at the base of the pole must first be engineered by FPL. In order for FPL to engineer this work and provide the fee in performing this work, it must first be provided all required information by the project design engineer. Please clarify the following:

1. Please confirm if this fee is to be included in the bid proposal. If yes, please provide and confirm the fee amount. If the fee cannot be provided, please provide a "fee" allowance to be included in the bid.

*We will confirm with the City on how to proceed. (RBJ-SCEI).*

2. Please confirm the precise location of the FPL point of service. This location is necessary to be able to determine the length of the required electrical service run. If this information is not available, we suggest a distance allowance be stipulated.

*We will coordinate with FPL again and issue an addendum. However, the contractor must coordinate the exact termination points with FPL prior to bid. (RBJ-SCEI).*

- With respect to Sheets E-1, E-2, and E-3 (Panel SH, and Panel SL), the FPL Representatives had the following additional points to be confirmed:
- Confirm size of can [Example: K-7 (Bolt-in Meter)];



*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

- Confirm amps required;

*Shown on plans. Refer to sheet E-300. Panel Schedules. (RBJ-SCEI).*

- Confirm cable size;

*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

- Confirm size of conductors.

*Shown on plans. Refer to sheet E-300. Single-Line Diagram. (RBJ-SCEI).*

We suggest the project design engineer contact FPL in order to have all FPL electrical requirements satisfied.

- With respect to any/all clarification provided by FPL, and confirmed with FPL, we request that the electrical drawings (Sheets E-1, E2, and E-3) be revised accordingly, and be issued via addendum for bidding/pricing purposes.

*Agreed. We will coordinate again with FPL and provide an addendum. In order to not delay bids during the coordination of the addendum contractor is advised to contact FPL to verify all utility requirements. (RBJ-SCEI).*

## RFI #2 - N&J CONSTRUCTION

25. Sheet C-100 "Existing Conditions & Demo Plan" does not indicate on the drawing the extent of what is to be demolished. Demolition Note # 1 is general in nature and does not address other site improvements which exist within the project site. Please clarify the following:

- There are two (2) wood poles on the east side of the property with four (4) mounted lights each including the back guying of the wood poles to vertical steel pipes. Please clarify if these poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- There are two (2) wood poles on the west side of the property with four (4) mounted lights each including the back guying of the wood poles to vertical steel

pipes. Please clarify if these poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- There is one (1) wood pole on the west side of the property with no mounted lights. Please clarify if these poles are to be removed/demolished.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed/demolished.*

- There are two (2) wood service poles with electrical outlets at the base of each pole within the project site being fed underground. Please clarify if these poles are to be removed/demolished, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are two (2) wood service poles with electrical outlets located at the base of each pole within the project site being fed underground. Please clarify if these poles are to be removed/demolished, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are three (3) service outlets on the east side of the property adjacent to the exiting entry to the park being fed underground. Please clarify if these outlets are to be removed/demolished, if the underground conduit feeding outlets are to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing service poles, conduit and wiring are to be removed / demolished.*

- There are more light poles in the existing basketball court than what Sheet C-100 indicates. Please confirm that all light poles are to be removed/demolished, if the lights are to be salvaged and returned to the owner, if the underground conduit feeding these poles is to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out.

*Please refer to Specification Section 31 00 00 3.5. Existing site lighting, poles, conduit and wiring are to be removed. Lighting shall be removed and demolished/salvaged or returned as required by owner.*

- Please clarify if the existing bleachers are to be removed/demolished or salvaged and returned to the owner.

*Removed and demolished/salvaged or returned as required by owner.*

- Please clarify if the existing aluminum bench inside the basketball court is to be removed/demolished or salvaged and returned to the owner.

*Removed and demolished/salvaged or returned as required by owner.*

- Please clarify if the existing bike rack at the existing basketball court is to be removed/demolished or salvaged and returned to the owner.

*Removed and demolished/salvaged or returned as required by owner.*

- Please clarify if the electrical disconnects and water line (H.B) enclosed within a four foot chain-link fence enclosure on the northeast of the existing basketball court to be removed/demolished, if the underground conduit and water line are to be abandoned in place, if the underground is to be abandoned in place do the wire need to be pulled out and the water line capped.

*Please refer to Specification Section 31 00 00 3.5. Unless otherwise noted on the site electrical plan existing electrical disconnects shall be removed and demolished. The existing water line service shall be removed back to the water main tap and capped at the service tap in accordance with MDWASD and City of Medley utility standard specifications and details and as directed by the city or utility inspector.*

26. The electrical drawings call for Quazite pull boxes with traffic covers, however, Quazite does not offer traffic covers. Please clarify whether Quazite pull boxes can be installed with regular covers or a pull box should be installed with traffic cover. Please see attached from Quazite.

*Refer to attached web link indicating specified handhole with traffic rated cover. (RBJ-SCEI).*

<http://www.hubbellpowersystems.com/resources/drawings/enclosures/quazite/pdf/OZ1-20.pdf>

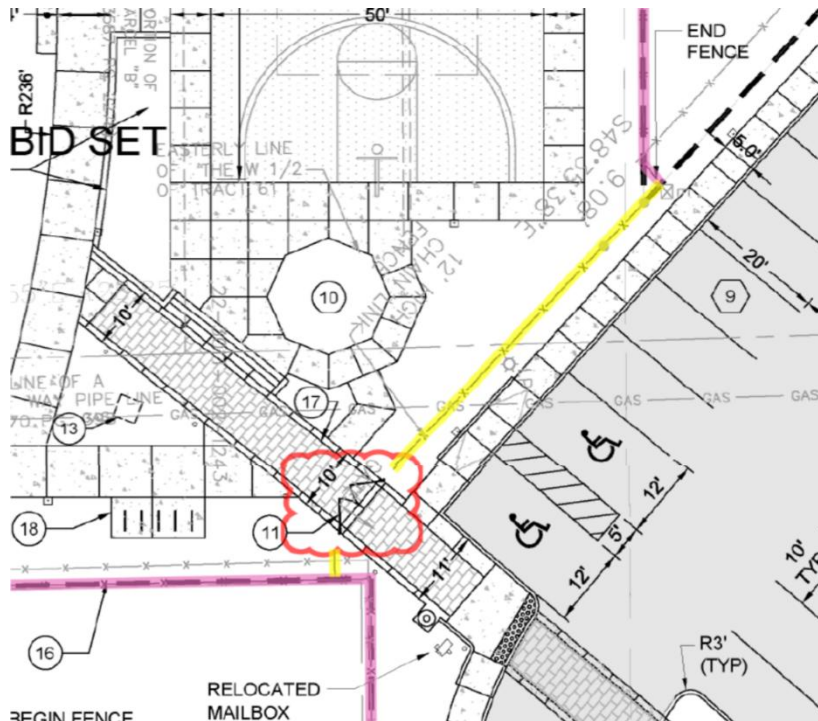
## **RFI #3 - N&J CONSTRUCTION**

27. Addendum #2 has simply revised and updated the “Schedule of Events” and has extended the RFI period to April 12<sup>th</sup>, and the Opening of Bids to April 16<sup>th</sup>. No other document was issued with Addendum #2. Consequently, none of the Pre-Bid RFIs submitted as of the Last Day to submit RFIs of April 1<sup>st</sup> (Refer to Addendum #1) have been provided a response. Some of the Pre-bid RFIs submitted have in nature large cost components with respect to the overall scope of work for this Invitation To Bid (ITB) and sufficient time must be provided in order to review, analyze, and properly coordinate the pricing regarding any clarifications/revisions. It is even conceivable that additional site visits by participating bidders may be required to confirm field dimensions and existing conditions in order to accurately contemplate and visualize the work required depending on how the pending Pre-Bid RFIs are addressed. The prior date of Opening of Bids per Addendum #2 was today, April 9<sup>th</sup>. With respect to the New Date of Opening of Bids of April 16<sup>th</sup>, the difference between the New Date of Opening of Bids is a total of seven (7) Calendar Days, which amounts to a total of only five (5) Work Days. Taking into account the time pattern noted above, regarding the eventual release of Addendum #3, it is requested that the eventual determined New Date for Opening of Bids be extended to a point that at minimum a total of ten (10) Calendar Days will be granted, which will guarantee a minimum of seven (7) Work Days. If by chance the tenth (10<sup>th</sup>) Calendar Day lands on a weekend day (Saturday or Sunday), we request the Opening of Bids be extended to the upcoming Monday. It would be extremely unfortunate to the open bidding process if qualified potential bidder/s choose not to submit a bid simply out of concern of time constraints. Please confirm if this request will be granted.

***Bid Date will be extended accordingly***

## **STONEHENGE CONSTRUCTION**

28. Regarding Page C-200, please confirm if the area highlighted in yellow in the attached pdf (on either side of the main entrance denoted as item #11) is to have Ameristar fencing? There is an existing chain link fence there now.



*Fence highlighted in yellow shall be proposed fencing as specified, re: 1/L001*

29. Please confirm the dollar allowance to be included in the bid for permit costs. *The Town of Medley is waiving all permits and inspection costs associated with this project. Permits that may be required from other regulatory agencies will be reimbursed to the Contractor upon submittal of proof of payment as an line item expense under the Project Contingencies item.*
30. The plan specifies a 2" irrigation well. There is also a Hoover pump station with a 7 ½ horsepower pump station. Please confirm that a 2" well will be sufficient. We believe a 3" well must be installed in order to avoid cavitation of the 2" well.

*The well size be increased to 3". The pump is designed to operate at a peak of 50 GPM which would necessitate the larger well.*

## ADVANCED RECREATIONAL CONCEPTS

31. I wasn't able to locate the specs, scope or details for the following items:
  - Playground Equipment?

*Playground equipment is existing, therefore not included in this scope.*

- Playground Safety Surfacing?

*Playground surfacing is existing, therefore not included in this scope.*

- Walking / Exercise Path?

*Majority of walking path is Pavement Type B. Refer to sheet L101 for locations, limits and Detail 1/L001 for paving specification.*

- Outdoor Fitness Equipment?

1. Number of Stations?

*There are three (3) Fitness Stations labeled A, B and C on sheet L101.*

2. Type of Equipment?

*Fitness Stations are specified on Detail 1/L001.*

3. Surfacing of pad around the stations?

*All Fitness Stations are on Pavement Type B.*

32. Who are the Plan Holders for this project? (We would be a sub on this project and would like to know who's interested in being the Prime GC.) *The Town has provided the list of plan-holders to date as an attachment to Addendum 3 which has been distributed to all plan-holders or may be obtained by visiting the Town's website at [www.townofmedley.com](http://www.townofmedley.com) under the "Open Bid Invitation" link.*

## GEC ASSOCIATES

33. Sheet C-100 states to Remove Existing Inlet and Exfiltration Trench Pipe, plans do not show any Exfiltration Trench Pipe. Please Clarify quantity of exfiltration trench pipe to be removed.

*The existing length is unknown.*

34. Please clarify pipe material for the "PVC" drainage pipe shown on sheet C-300.

*PVC SDR-35 per note 5.4 /C-001.*

35. Please clarify the sidewalks, curbs, pavers, connections, etc. located outside the project limit by the new park entrance is not in the scope of work.

*The project limits are clearly denoted on the site plan by the bold dashed line. The limits shown exclude sidewalks, curbs, driveway aprons, pavers that are outside the project limits but are shown on the civil plans to coordinate with the proposed NW South River Drive improvements designed by EAC (see site notes). Water service utility work shown on C-400 is included in the scope of work.*

36. Plans show soccer field to receive Bahia Grass, Specifications state soccer field to receive Celebration Bermuda Grass. Please clarify.

*Bahia grass as shown on the plans and in the plant schedule is correct. Client directed change.*

## **BURKE CONSTRUCTION GROUP INC**

37. Plans keep on referring to Architectural Drawings, however there are none. Please advise.

2. SEE ARCHITECTURAL SITE PLAN FOR FIELD / COURT DIMENSIONS, LAYOUT, BRICK PAVER DETAILS, AND DETAILS.

*Figure 1 - C-200*

*Please refer to Landscape Architectural drawings L series.*

38. The existing playground that is to have recycled matting requires a 4" concrete base underneath the matting. Plans do not indicate any base. Is the base and the matting existing?

*This is an existing Playground with recycled matting as reflected on the Survey (included in the Bid Set).*

39. The plans do not indicate the type of floor for the batting cage. Will the batting cage floor be sod, asphalt or concrete? Please advise.

*Design intent was to replace existing batting cage which has a sod floor*



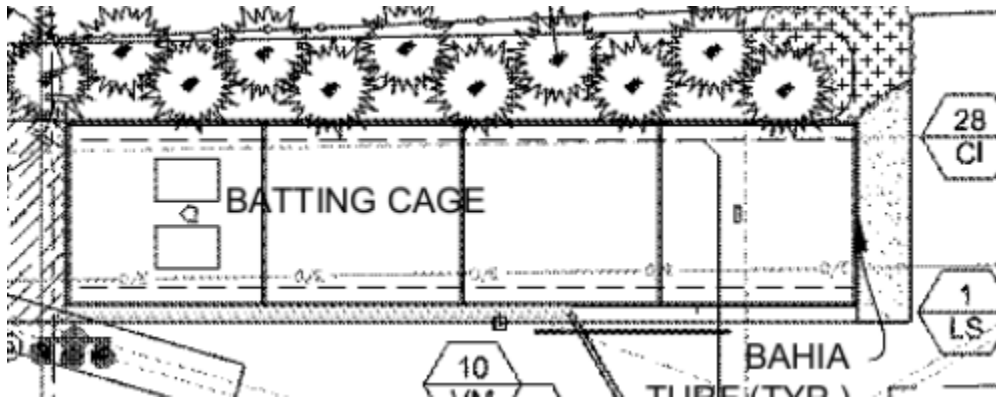


Figure 2- L201

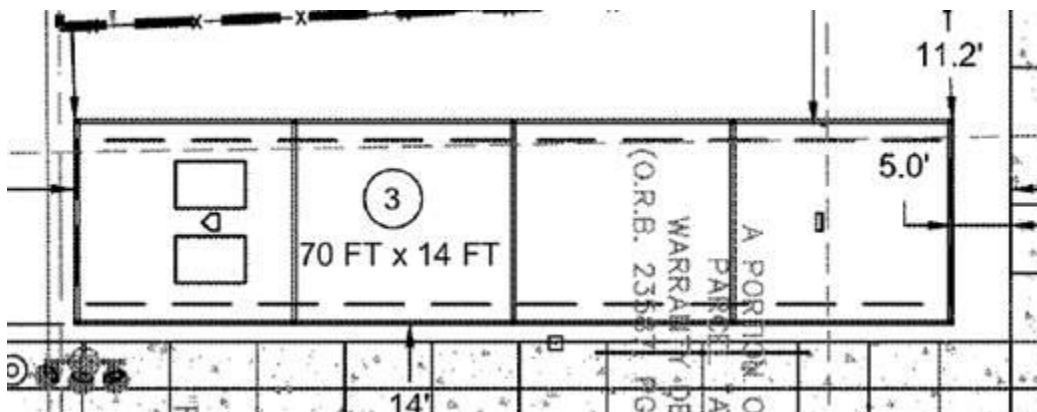


Figure 3 - C-200

40. L101 indicate that the soccer goal are NIC. Please verify if this true.

*Goals are N.I.C. and are provided by whatever league intends to play there.*

41. Detail 1/L151 makes a reference to a potential location for sculpture/donor recognition (TBD). Will a footing be required?

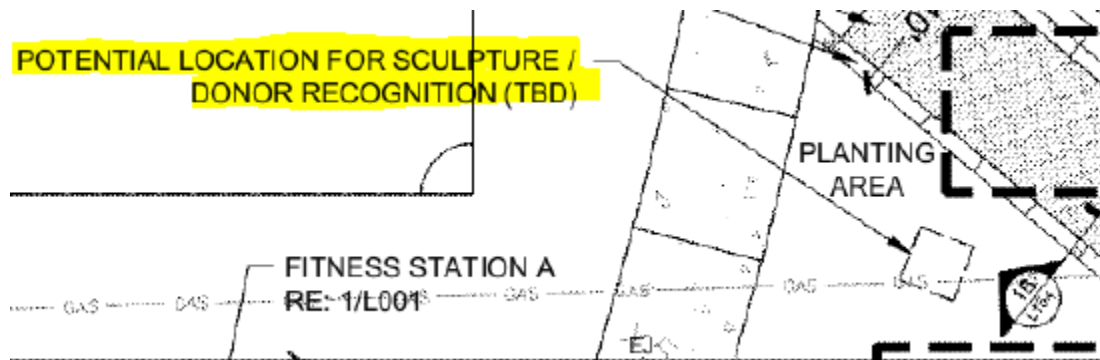


Figure 4 - Detail 1/L151

*No Sculptor/ Donor recognition is within this contract. This is only a placeholder location for the city's future consideration*

42. Detail 3/L153 references the pre-cast reinforced concrete pole for the Basketball courts, however it does not indicate any footings required for this pole (LXWXDepth). Please advise if we are to engineer taking into consideration hurricane forces, etc.

*Contractor to provide design for reinforced concrete footings using the latest edition of the Florida Building code with all it's ammendments.*

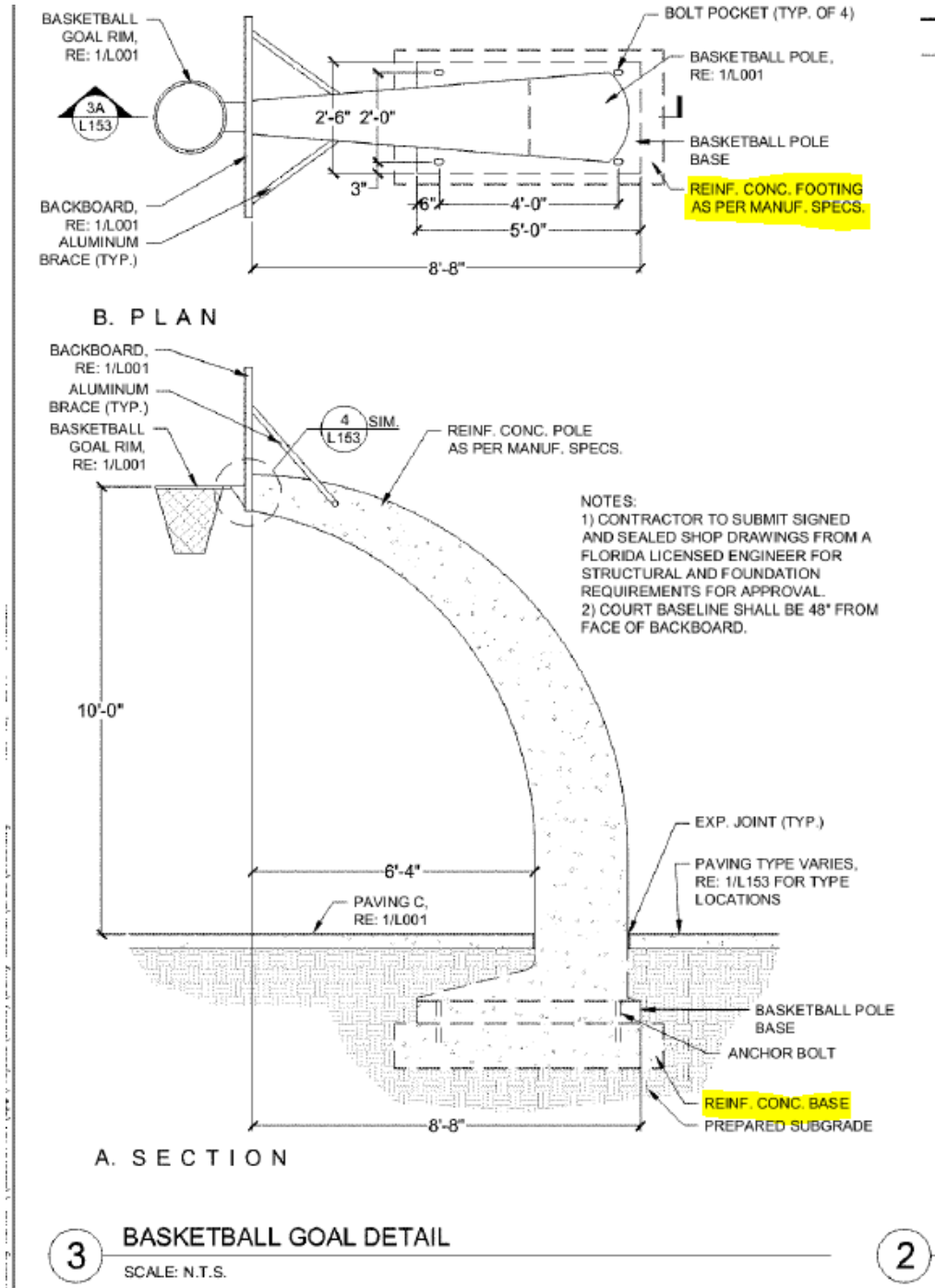


Figure 5 - Detail 3/L153

## ERF CONSTRUCTION GROUP, INC.

### 43. PLEASE CLARIFY THE FOLLOWING ITEMS :

- Detail of Pavers installation

*See sheet L154 for paver installation details/information*

- Detail for dumpster construction (Page C600) is in conflict with Site Plan (C200) footprint.

*The dumpster shall be constructed in accordance with the detail shown on C600, except that the pedestrian access wing wall shall be eliminated.*

- Battling cage floor, floor concrete slab detail?

*Design intent was to replace existing battling cage which has a sod floor*

- Dumpster gates detail?

*Provide gates similar to that shown on sheet L152. Fence material to be aluminum.*

- Chain link fence length, detail & location?

*No Chain Link fences are provided in this contract. Fences are Echelon Ornamental as stated in the Materials /Furnishings Schedule on L001*

- Soccer field earthwork and fill detail section?

44. On sheet On sheet e-100 of this ITB the scope of work notes breaks the job into two electrical contractors. Is this the intent? If so, how do we submit a bid for the scope titled "owner electrical contractor"? I assume the "site electrical contractor" scope is submitted to the general contractor?

*All work listed in the "SCOPE OF ELECTRICAL WORK NOTES" on Sheet E-100 shall be provided and bid by the Electrical Contractor. The intent of the notes was if the City were to purchase the sports lighting package directly. As this is not the case the Electrical Contractor will be responsible for a complete installation of all electrical components and should provide his/her bid to the General Contractor accordingly. (RBJ-SCEI).*

## ABC ONSTRUCTION INC.

45. Please advise if S1, S2, S3, S4 and P1 Sport field Poles manufactured by Musco Lighting shown on PS-200 page are existing, if not please provide specifications

*These poles are new, and as specified on PS100 and E200 note 3.*

## RHINO COURTS

46. The plans dose not show the type of finish you want on the basketball court.

- *Do you want modular tiles, or laykold sports paint*

*No. finish shall ae acrylictex as specified on the drawings.*

- Also have Glass clearview professional backboards have been considered?, they will be far less expensive.

*This material was considered, however though less expensive we prefer the more durable steel backboard specified.*

**Jorge E. Corzo PE**

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**From:** Jorge E. Corzo PE  
**Sent:** Friday, April 17, 2015 10:28 AM  
**To:** Ada Almeida (BFM); Andres Solares (Solares Elec.); Arash (Florida Construction & Engineering); Ashley Akerman (Gulf Coast); Brittany Fiorito (bfiorito@isqft.com); Chuck Floyd (ECS); Claudia Castillo (Stonehenge); Dania Guevara (Unitech); David Moran PE (Epic); Elaine Strong (Benson); Emilio Fagundo (ERF); Greg Pappas (Papico); Hilario Gonzalez (HG); Jason Frucht (Musco); Jenny Espinales (GEC); Jeovanni Tarafa (JRT); John Melnicoff (Quality Sports); John Perez-Gurri; Jorge E. Corzo PE; Jorge Rodriguez (Solares); Keila Melo (ABC); Larry Levis, AIA (Atkins); Lina Taboada; Lizmari Valido; Manny Quintana (Stonehenge); Michael Perez-Gurri (N&J); Mike Landis (Swartz Associates); Nerissa Kelly; Olga Quin; Paul A. Simmonds (Atkins); Ricardo Fagundo (ERF); Ricky Sandoval; Shanda Miller (Corworth); Zak Knoepfel (ARC)  
**Cc:** Bidinfo  
**Subject:** ITB 2015-001 DMRF Improvements / Revised Bid Blans

To all plan-holders and other interested parties,

Revised bid plans dated April 14, 2014 incorporating selected RFI responses to date may be downloaded now from the Town Medley website at [www.townofmedley.com](http://www.townofmedley.com) following the Open Bid Invitation link.

RFI for this project may be submitted by email addressed to [bidinfo@townofmedley.com](mailto:bidinfo@townofmedley.com) until the end of the day on Sunday, April 19, 2015

Thank you,

Jorge E. Corzo, PE CFM  
*Town Engineer - PIO*

**Town of Medley**  
Office of Capital Projects & Development Services  
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Medley, FL 33166  
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